

WESTFIELD HOMES

A few general guidelines will apply to all fences:

- All proposed fence installations must be submitted to and approved by the Architectural Review Committee (ARC) prior to installation. Fencing will be under scrutiny of ARC to comply with design compatibility and shall be in keeping with the architectural style and materials used in the neighborhood.
- Fence locations shall be submitted along with the Site Plans and fence specifications for review. The Site Plan will not be approved without the fence locations noted.
- No wood or chain link fences allowed.
- Only PVC fencing allowed in Phase I Quail Trace, Phase II Egret Glade and Woodsmere. NO FENCING ALLOWED in Villas of Deerfields. See specifications below.
- PVC fencing shall be solid-wall 100% virgin PVC fence that is constructed from High Quality materials, stabilizers and modifiers throughout the entire extruded profile. No PVC co-extrusions or vinyl-clad wood products will be permitted. The only approved color is **ALMOND**.
- Landscaping, shrubs or hedging is required to screen any views of fence from the street at the front of the property, along the side in the case of corner homesites and all homesites backing up to any boulevard.
- Fence locations on corner lots may be further restricted due to side yard visibility constraints, side yard setback restrictions, and the location of homes on adjoining property. Corner lots will be handled on a case-by-case basis. You may request specific information on your corner lot setbacks prior to submittal of a plan.
- Side yard fences will not be permitted within ten (10) feet of the front of the house. The ten (10) feet shall be measured from the horizontal boundary of the structure.
- All lots that back up to a neighboring lot are only allowed seventy-two (72) inch privacy style approved PVC fence only. No other fence style is approved for these lots.
- All fencing adjoining lake, conservation areas (rear or side yard) or any boulevard must be picket style to a maximum forty-eight (48") in height. No other fencing will be approved.
- When forty-eight (48)" in height picket style fence is required along rear lot line the last 16' section on side yard fence must not exceed forty-eight (48)" in height. The preceding 8' section must stagger from 48" to 60" picket or privacy style and then remaining sections to a maximum height of 72" picket or privacy style.
See diagram (2-A, 2-B & 2-C).
- NO fencing in the front yard set back is permitted.
- Fences extended into utility easements at the owner's risk and maintained by the homeowner.
- Double fencing is prohibited.

Above guidelines must be followed in addition to the following special considerations:

- PHASE I Quail Trace BLOCK K Lot 1, BLOCK J23, BLOCK L Lots 22 and 23 (side yards) are considered conservation homesites and must follow the afore-mentioned lake, conservation or any main boulevard guidelines.
- PHASE I Quail Trace Block J Lot 1 backing up to community Neighborhood Park, the homeowner will be responsible for the maintenance of the developer fence installed along the perimeter. Landscape hedging may be installed to act as privacy screening.
- PHASE II Woodsmere Block P Lots 1 -18 may only install seventy-two (72) inch privacy style approved PVC fence only along rear and side yard lot lines. No other fence style is approved for these lots. Block P Lot 1 side yard fencing must have landscaping, shrubs or hedging to screen any views of fence from the street.
PHASE II Woodsmere Block P Lot 19 rear lot line fencing must have the first 16' section starting from Lot 18 toward Lot 20 at seventy-two (72) inch privacy style approved PVC fence and the next 8' section must stagger from 60" down to 48" picket style and then remaining sections to a maximum height of 48" picket style and will be considered a conservation homesite.
Refer to side yard fencing diagrams (2-A, 2-B & 2- C).
- PHASE II Woodsmere Block P Lots 20 through 39 and Block Q Lots 1 – 27 are considered conservation homesites and must follow the afore-mentioned lake, conservation or any main boulevard guidelines.
- PHASE II Egret Glade Block F Lots 1 through 36 are considered conservation homesites and must follow the afore-mentioned lake, conservation or any main boulevard guidelines.
- PHASE III Quail Trace Block N Lots 1 and 12 (side yards) and Block N Lots 13 through 18 and Block L Lot 38 and Lots 50 through 54 are considered (side yards) conservation homesites and must follow the afore-mentioned lake, conservation or any main boulevard guidelines.
- PHASE III Egret Glade Block J Lots 1 through 5 are considered conservation homesites and must follow the afore-mentioned lake, conservation or any main boulevard guidelines. Block H Lot 25 (side yard) and Block k Lot 5 are considered a conservation homesite and must follow the afore-mentioned lake, conservation or any main boulevard guidelines.

Illustrations and specifications of approved fencing designs are attached.

ALMOND PVC APPROVED FENCE STYLES

48" SACRAMENTO II or equivalent only allowed when used as a pool fence and when no screen enclosure is used.

48", 60" or 72" LAKELAND SERIES or equivalent (STRAIGHT).



**48" Lakeland Series Fence Product Specification:
Suggested Specifications or closest equivalent**

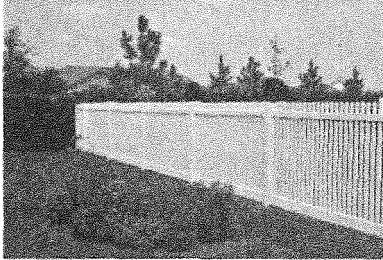
- 1" x 7" Tongue and Groove Picket
- 2" x 7" x 95" Slotted Notched End Bottom Rail
- 2" x 7" x 95" Slotted Top Rail
- 5" x 5" x 7' Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1" x 1.5" U-Channel
- Concrete Around Each Post
- Gates Constructed with Welded Internal Aluminum Frame

**60" or 72" Lakeland Series Fence Product Specifications:
Suggested Specifications or closest equivalent**

- 1" x 7" Tongue and Groove Picket
- 2" x 7" x 95" Slotted Notched End Bottom Rail
- 2" x 7" x 95" Slotted Top Rail
- 5" x 5" x 9' Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1" x 1.5" U-Channel
- Concrete Around Each Post
- Gates Constructed with Welded Internal Aluminum Frame

Approved Picket Fence Styles

Hampton Straight or equivalent



48" Hampton Series Fence Product Specifications: Suggested Specifications or closest equivalent

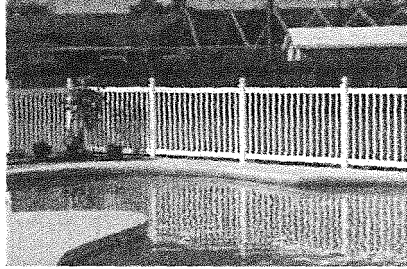
- 1-1/2" x 1-1/2" Picket
- 2" x 6" x 95" Routed/Notched End Bottom Rail
- 2" x 3.5" x 95" Routed Top Rail
- 1-3/4" x 1-3/4" Aluminum Tube Inserted In Bottom Rail For Extra Strength
- 5" x 5" x 7' Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1-1/2" x 1-1/2" Picket Cap
- Min. 1.875" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Internal Welded Aluminum Frame

60" or 72" Hampton Series Fence Product Specifications: Suggested Specifications or closest equivalent

- 1-1/2" x 1-1/2" Picket
- 2" x 6" x 95" Routed/Notched End Bottom Rail
- 2" x 3.5" x 95" Routed Top Rail
- 1-3/4" x 1-3/4" Aluminum Tube Inserted In Bottom Rail For Extra Strength
- 5" x 5" x 9 Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1-1/2" x 1-1/2" Picket Cap
- 1.875" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Internal Welded Aluminum Frame

All communities at Wilderness Lake Preserve Approved PVC Pool Fence Styles

Sacramento II or equivalent (example only)



**48" Sacramento II Style
Aluminum or Wrought Iron Fence
Suggested Product Specifications or closest equivalent**

- 3/4" Square Picket
- 3 7/8" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Welded Aluminum Frame

Diagram 2-A

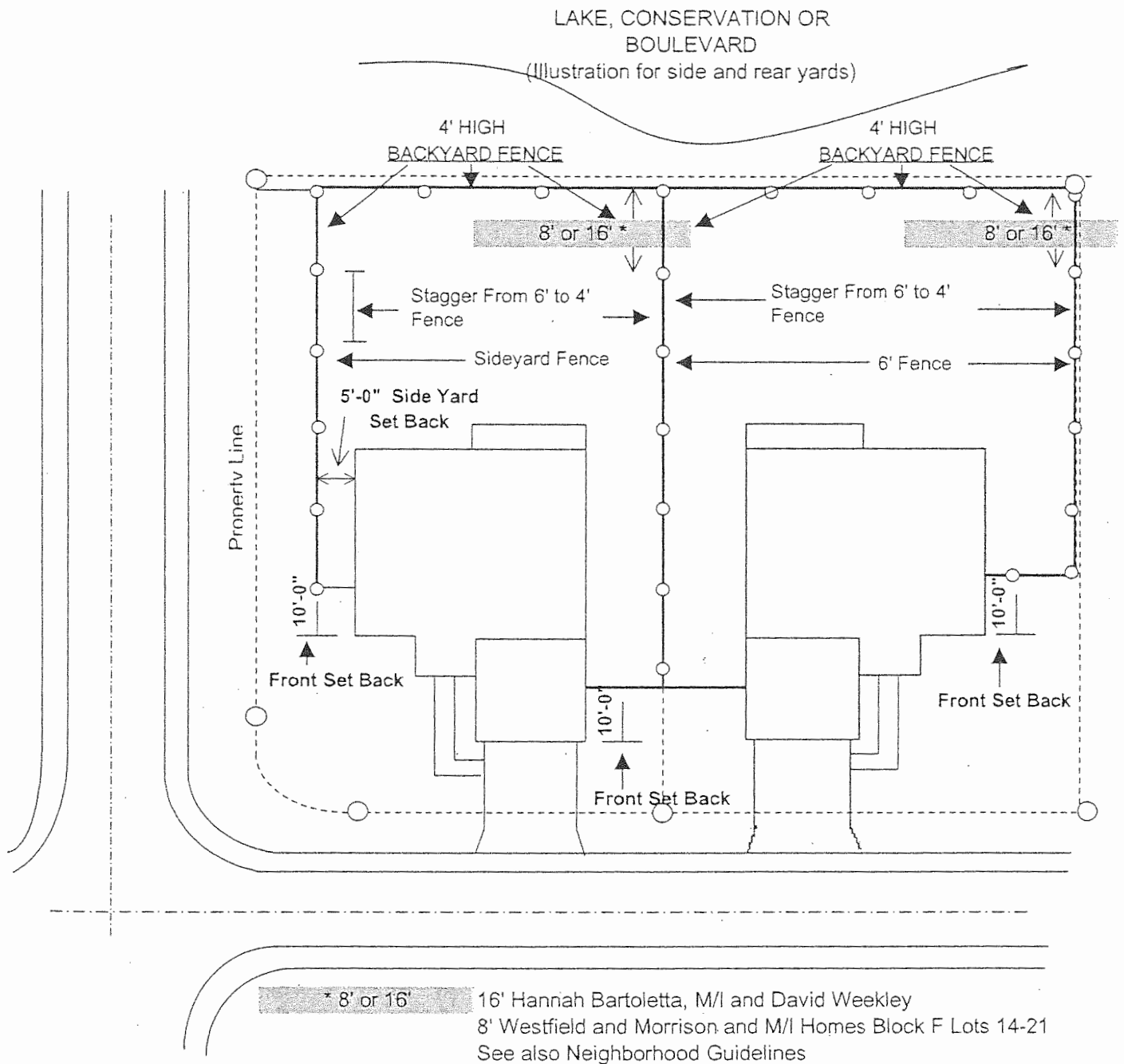
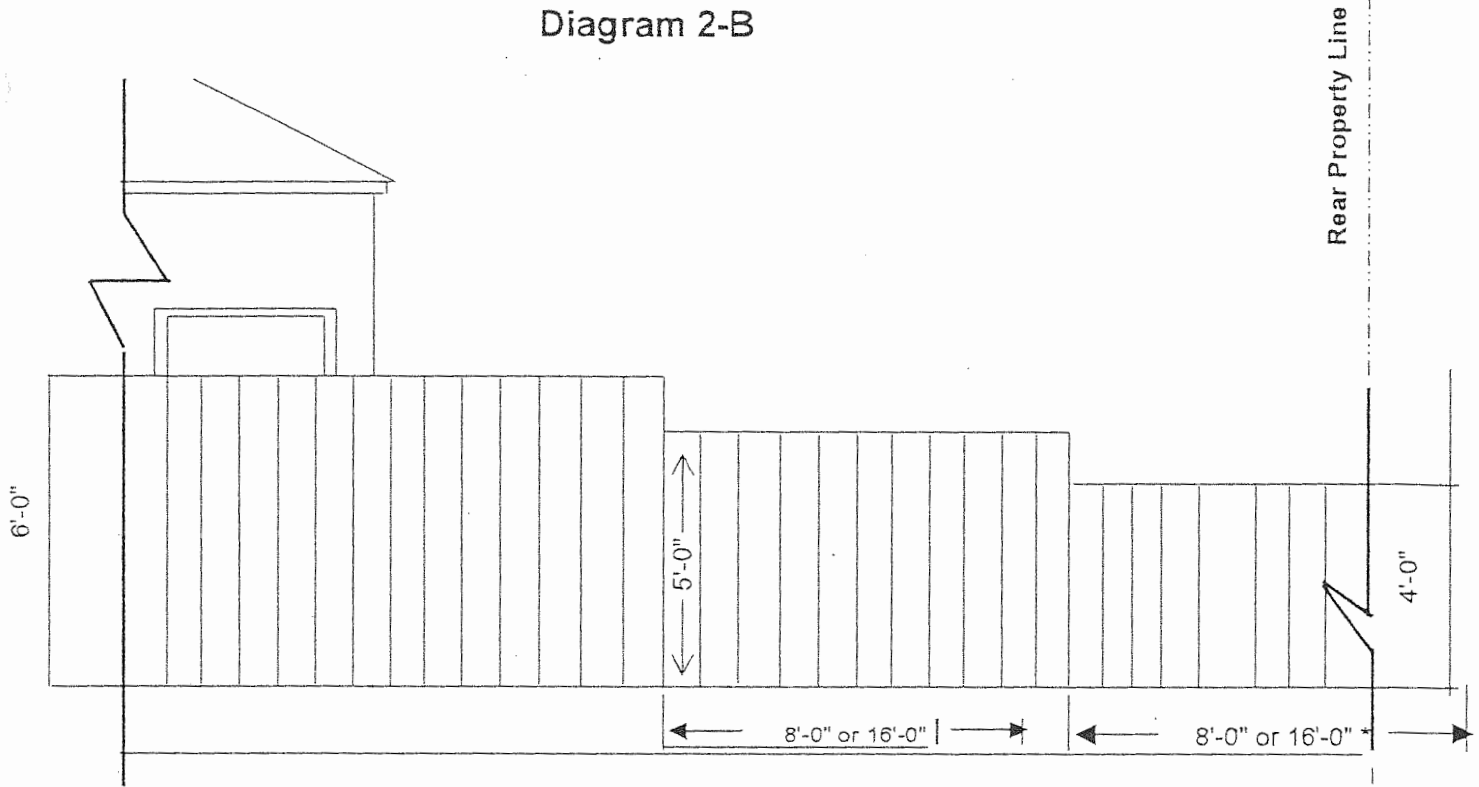


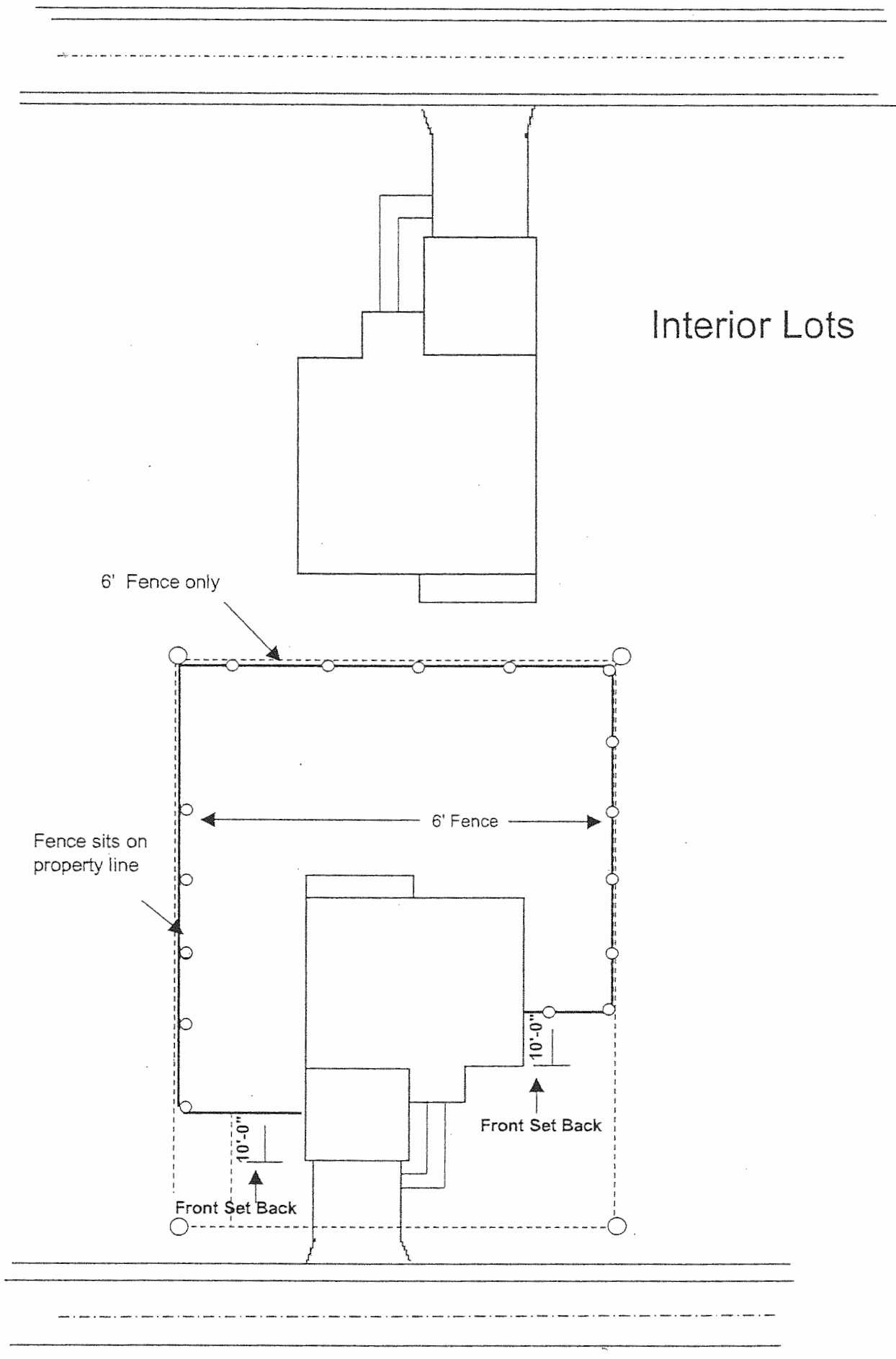
Diagram 2-B



TRANSITION FROM 6' HIGH FENCE TO A 4' SIDE YARD FENCE

* SEE NEIGHBORHOOD GUIDELINES

Diagram 2-C



DAVID WEEKLEY HOMES

A few general guidelines will apply to all fences:

- All proposed fence installations must be submitted to and approved by the Architectural Review Committee (ARC) prior to installation. Fencing will be under scrutiny of ARC to comply with design compatibility and shall be in keeping with the architectural style and materials used in the neighborhood.
- Fence locations shall be submitted along with the Site Plans and fence specifications for review. The Site Plan will not be approved without the fence locations noted.
- No chain link or wood fencing will be allowed.
- Only PVC fencing allowed. PVC fencing shall be solid-wall 100% virgin PVC fence that is constructed from High Quality materials, stabilizers and modifiers throughout the entire extruded profile. No PVC co-extrusions or vinyl-clad wood products will be permitted. The only approved color is ALMOND.
- Landscaping, shrubs or hedging is required to screen any views of fence from the street at the front of the property, along the side in the case of corner homesites and all homesites backing up to any boulevard.
- Fence locations on corner lots may be further restricted due to side yard visibility constraints, side yard setback restrictions, and the location of homes on adjoining property. Corner lots will be handled on a case-by-case basis. You may request specific information on your corner lot setbacks prior to submittal of a plan.
- Side yard fences will not be permitted within ten (10) feet of the front of the house. The ten (10) feet shall be measured from the horizontal boundary of the structure.
- All lots that back up to a neighboring lot are only allowed seventy-two (72) inch privacy style approved PVC fence only. No other fence style is approved for these lots.
- All fencing adjoining lake, conservation areas (rear or side yard) or any boulevard must be picket style to a maximum forty-eight (48") in height. No other fencing will be approved.
- When forty-eight (48)" in height picket style fence is required along rear lot line the last 16' section on side yard fence must not exceed forty-eight (48)" in height. The preceding 8' section must stagger from 48" to 60" picket or privacy style and then remaining sections to a maximum height of 72" picket or privacy style.
See diagram (2-A, 2-B & 2-C).
- NO fencing in the front yard set back is permitted.
- Fences extended into utility easements at the owner's risk and maintained by the homeowner.
- Double fencing is prohibited.

Illustrations and specifications of approved fencing designs are attached.

ALMOND PVC APPROVED FENCE STYLES

48" SACRAMENTO II or equivalent only allowed when used as a pool fence and when no screen enclosure is used.

48", 60" or 72" LAKELAND SERIES or equivalent (STRAIGHT).



**48" Lakeland Series Fence Product Specification:
Suggested Specifications or closest equivalent**

- 1" x 7" Tongue and Groove Picket
- 2" x 7" x 95" Slotted Notched End Bottom Rail
- 2" x 7" x 95" Slotted Top Rail
- 5" x 5" x 7' Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1" x 1.5" U-Channel
- Concrete Around Each Post
- Gates Constructed with Welded Internal Frame

**60" or 72" Lakeland Series Fence Product Specifications:
Suggested Specifications or closest equivalent**

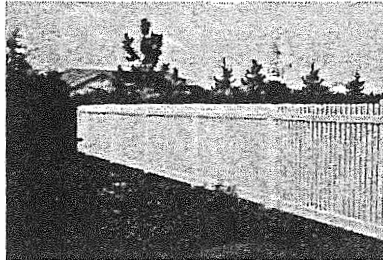
- 1" x 7" Tongue and Groove Picket
- 2" x 7" x 95" Slotted Notched End Bottom Rail
- 2" x 7" x 95" Slotted Top Rail
- 5" x 5" x 9' Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1" x 1.5" U-Channel
- Concrete Around Each Post
- Gates Constructed with Welded Internal Frame

Above guidelines must be followed in addition to the following special considerations:

- PHASE I BLOCK R Lots 1 and 40 and BLOCK I Lots 1 (side yards) and BLOCK R Lots 34 through 37 (rear yards) considered conservation homesites and must follow the aforementioned lake, conservation or any main boulevard guidelines.
- PHASE I David Weekley Homes Block H Lots 1 through 4 backing up to community Neighborhood Park, the homeowner will be responsible for the interior maintenance of the developer fence installed along the perimeter. Landscape hedging may be installed to act as privacy screening.
- PHASE II BLOCK J Lots 4 and 5, Block L Lots 12 and 13, Block M Lots 6 and 7, 13 and 14, Block N Lots 8 and 9, are considered lots that back up to a neighboring lot are only allowed seventy-two (72) inch privacy style approved PVC fence only along the rear lot line. Side yard guidelines as above will apply. Block J Lot 5, Block M Lots 7 and 13, Block N Lot 9 corner side yard guidelines need to be considered. No other fence style is approved for these lots.
- PHASE II Block J Lot 6, Block L Lot 12, Block M Lots 2, 8, 12 and 21, Block N Lot 10 are considered lots that back up to a neighboring lot are only allowed seventy-two (72) inch privacy style approved PVC fence only along the side yard lot line. Side yard guidelines as above will apply.

Approved Picket Fence Styles

Hampton Straight or equivalent



48" Hampton Series Fence Product Specifications: Suggested Specifications or closest equivalent

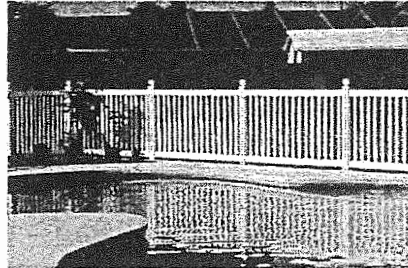
- 1-1/2" x 1-1/2" Picket
- 2" x 6" x 95" Routed/Notched End Bottom Rail
- 2" x 3.5" x 95" Routed Top Rail
- 1-3/4" x 1-3/4" Aluminum Tube Inserted In Bottom Rail For Extra Strength
- 5" x 5" x 7' Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1-1/2" x 1-1/2" Picket Cap
- Min. 1.875" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Internal Welded Frame

60" or 72" Hampton Series Fence Product Specifications: Suggested Specifications or closest equivalent

- 1-1/2" x 1-1/2" Picket
- 2" x 6" x 95" Routed/Notched End Bottom Rail
- 2" x 3.5" x 95" Routed Top Rail
- 1-3/4" x 1-3/4" Aluminum Tube Inserted In Bottom Rail For Extra Strength
- 5" x 5" x 9 Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1-1/2" x 1-1/2" Picket Cap
- 1.875" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Internal Welded Frame

All communities at Wilderness Lake Preserve Approved PVC Pool Fence Styles

Sacramento II or equivalent (example only)



48" Sacramento II Style
Aluminum or Wrought Iron Fence
Suggested Product Specifications or closest equivalent

- 3/4" Square Picket
- 3 7/8" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Welded Aluminum Frame

Diagram 2-A

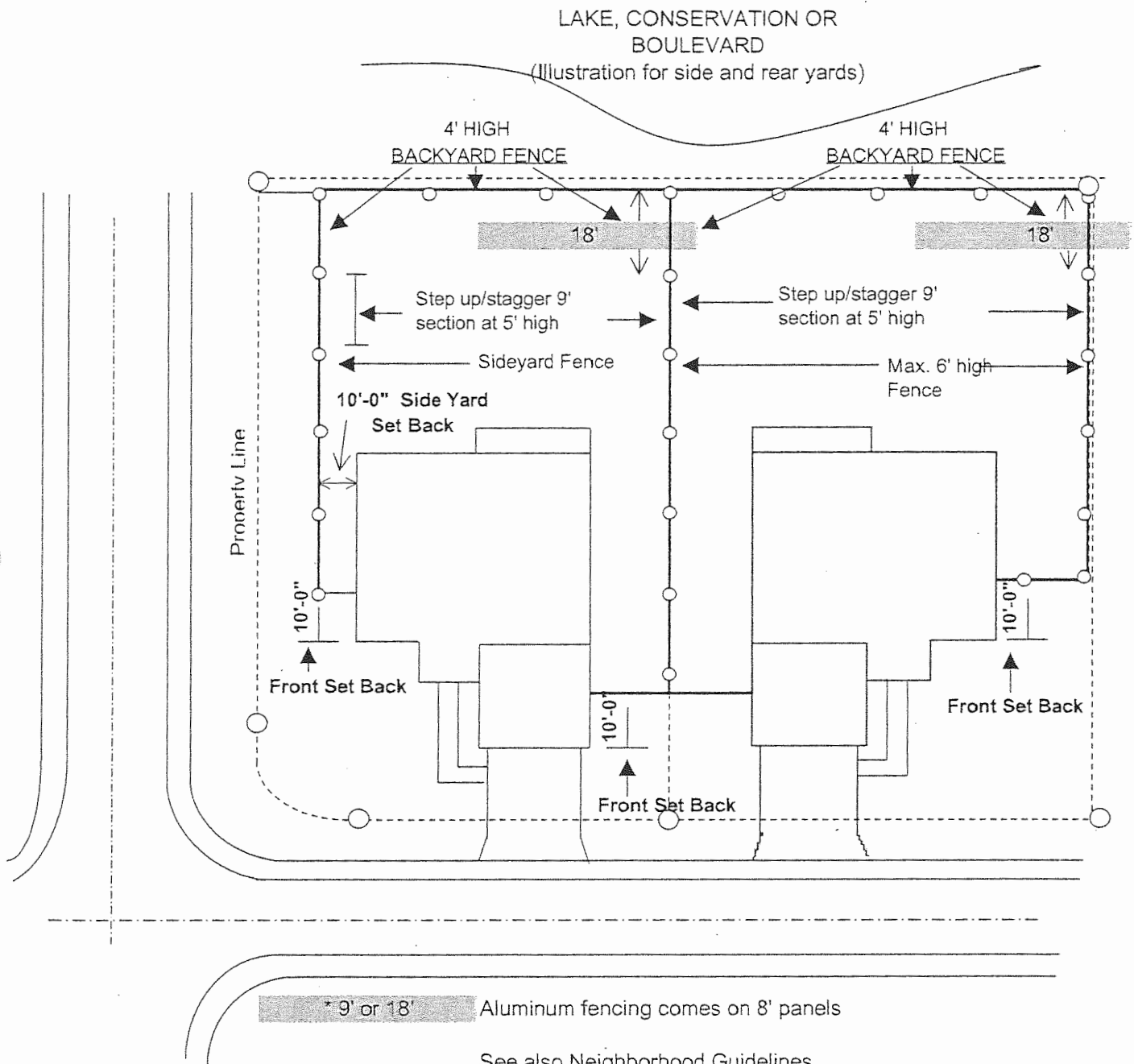
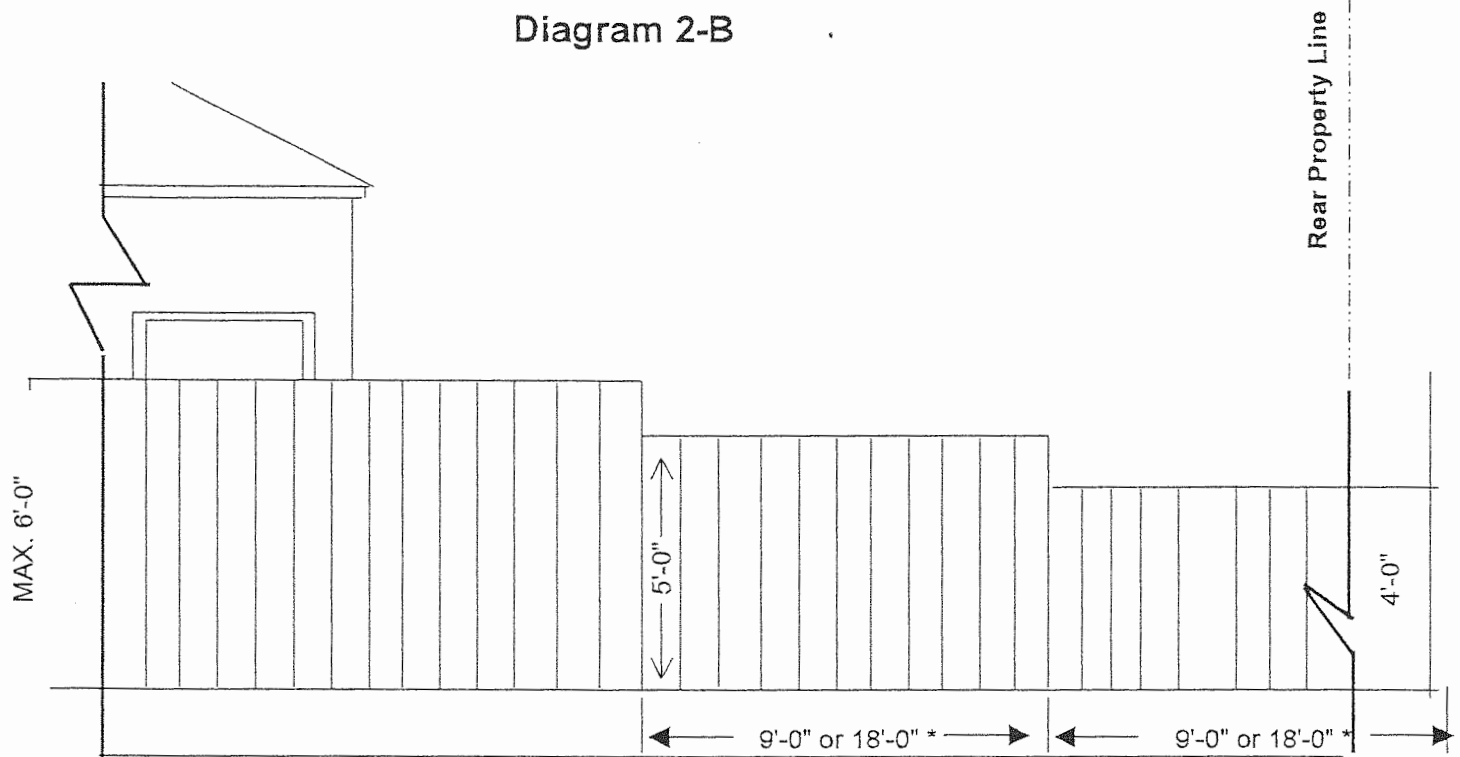


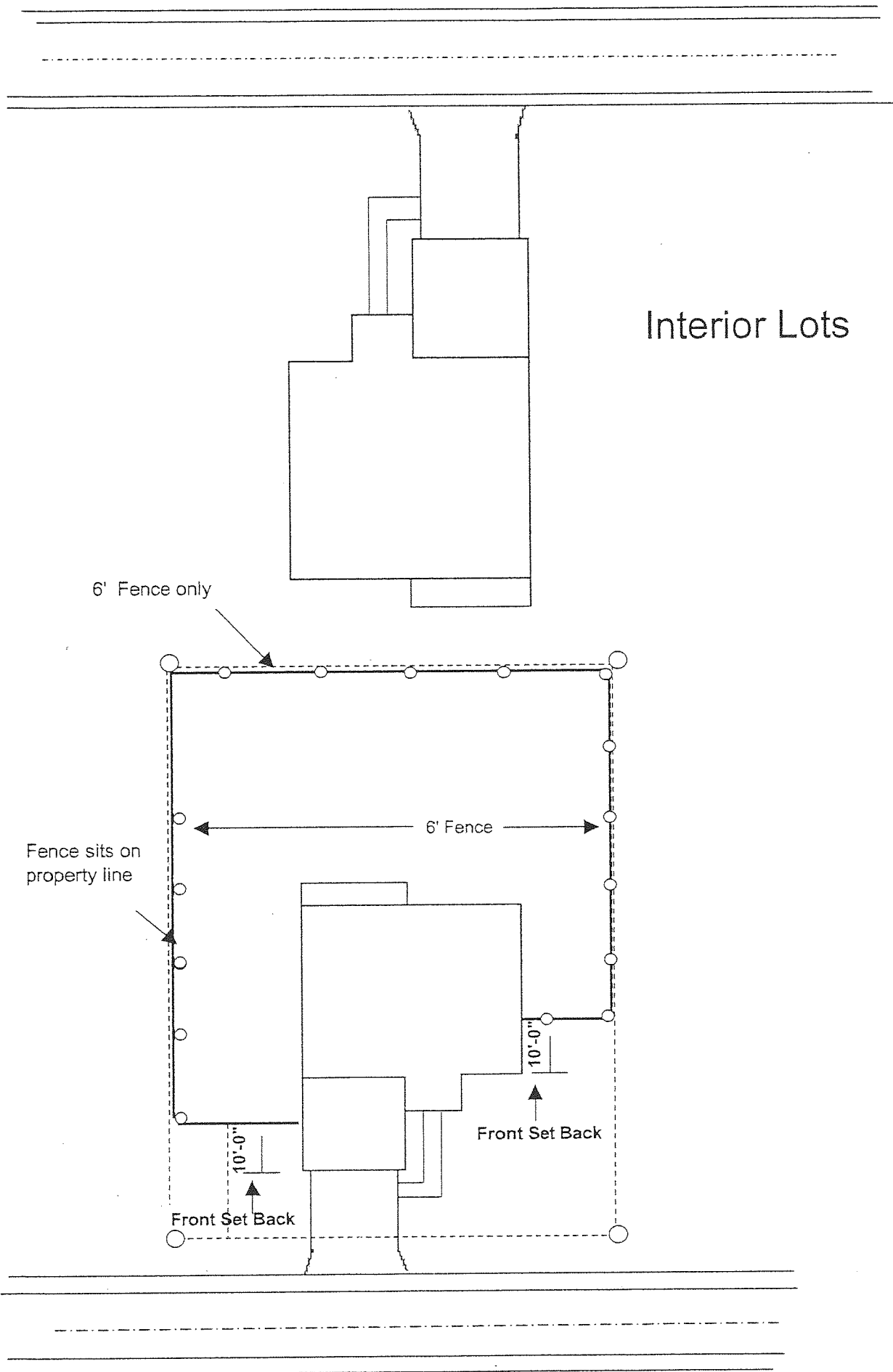
Diagram 2-B



TRANSITION FROM 6' HIGH FENCE TO A 4' SIDE YARD FENCE

* SEE NEIGHBORHOOD GUIDELINES

Diagram 2-C



M/I HOMES

A few general guidelines will apply to all fences:

- All proposed fence installations must be submitted to and approved by the Architectural Review Committee (ARC) prior to installation. Fencing will be under scrutiny of ARC to comply with design compatibility and shall be in keeping with the architectural style and materials used in the neighborhood.
- Fence locations shall be submitted along with the Site Plans and fence specifications for review. The Site Plan will not be approved without the fence locations noted.
- No chain link or wood fencing will be allowed.
- Only PVC fencing allowed. PVC fencing shall be solid-wall 100% virgin PVC fence that is constructed from High Quality materials, stabilizers and modifiers throughout the entire extruded profile. No PVC co-extrusions or vinyl-clad wood products will be permitted. The only approved color is **ALMOND**.
- Landscaping, shrubs or hedging is required to screen any views of fence from the street at the front of the property, along the side in the case of corner homesites and all homesites backing up to any boulevard.
- Fence locations on corner lots may be further restricted due to side yard visibility constraints, side yard setback restrictions, and the location of homes on adjoining property. Corner lots will be handled on a case-by-case basis. You may request specific information on your corner lot setbacks prior to submittal of a plan.
- Side yard fences will not be permitted within ten (10) feet of the front of the house. The ten (10) feet shall be measured from the horizontal boundary of the structure.
- All lots that back up to a neighboring lot are only allowed seventy-two (72) inch privacy style approved PVC fence only. No other fence style is approved for these lots.
- All fencing adjoining lake, conservation areas (rear or side yard) or any boulevard must be picket style to a maximum forty-eight (48") in height. No other fencing will be approved.
- When forty-eight (48)" in height picket style fence is required along rear lot line the last 16' section on side yard fence must not exceed forty-eight (48)" in height. The preceding 16' section must stagger from 48" to 60" picket or privacy style and then remaining sections to a maximum height of 72" picket or privacy style.
See diagram (2-A, 2-B & 2-C).
- NO fencing in the front yard set back is permitted.
- Fences extended into utility easements at the owner's risk and maintained by the homeowner.
- Double fencing is prohibited.

Above guidelines must be followed in addition to the following special considerations:

- Phase I M/I Homes Block F Lots 5 through 13 no rear property line fencing will be allowed along the community property line. The developer has installed a 72" high black aluminum fence along the perimeter property line. The fence is to be maintained by the homeowner. Landscape hedging can be planted for privacy screening.
- Phase I M/I Homes Block F Lots 4 through 13 side yard fencing will be as follows:

BLACK ALUMINUM APPROVED FENCE STYLES

48" or 72" ASCOT ALUMINUM, WROUGHT IRON OR EQUIVALENT STYLE

The last 16' section on side yard fence must not exceed forty-eight (48)" in height. The preceding 16' section must stagger from 48" to 60" and then remaining sections to a maximum height of 72". Landscape hedging may be planted to act as privacy screen.

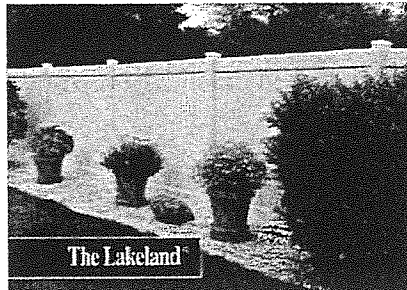
- Phase I M/I Homes Block F Lots 14 through 21 backing up to Wilderness Lake Boulevard and the side yard of Block F Lot 1 may only install 48" Almond PVC picket style fencing along rear property line. Landscape screening will be required. Side yard fencing for the last 8' section must be Almond PVC picket style and must not exceed forty-eight (48)" in height. The preceding 16' section must stagger from 48" to 60" picket or privacy style and then remaining sections to a maximum height of 72" picket or privacy style.
- Phase I M/I Homes Block F Lots 1 – 4 and 13 – 14 are considered conservation homesites and must follow the afore-mentioned lake, conservation or any main boulevard guidelines.
- Phase II M/I Homes Block B Lots 1 – 8, Block C Lots 1 – 20 1—12, 15—20, Block D Lots 1 – 3, Block E Lots 1 – 9, Block K Lots 1 – 10, Block L Lots 1 – 6, Block M Lots 23 – 24 are considered conservation homesites and must follow the afore-mentioned lake, conservation or any main boulevard guidelines.
- ~~• Phase II M/I Homes Block C Lots 13 and 14 are considered lots that back up to a neighboring lot are only allowed seventy-two (72) inch privacy style approved PVC fence only along the rear lot line. Side yard guidelines as above will apply. No other fence style is approved for these lots.~~
- PHASE I Quail Trace Block J Lot 1 PHASE II M/I Homes Block C Lots 15 – 17 backing up to neighboring village, the homeowner will be responsible for the maintenance of the developer fence installed along the perimeter. Landscape hedging may be installed to act as privacy screening.
- Phase II M/I Homes Block E Lots 10 and 12 are considered conservation homesites and must follow the afore-mentioned lake, conservation or any main boulevard guidelines. The adjoining lot line is only allowed a maximum height of seventy-two (72) inch privacy style approved PVC fence.
- Phase II M/I Homes Block E Lot 11 is considered a pie shaped lot and is only allowed a maximum height of seventy-two (72) inch privacy style approved PVC fence.
- Phase II M/I Homes Block L Lots 7 – 11 are considered lots that back up to a neighboring lot are only allowed seventy-two (72) inch privacy style approved PVC fence only along the rear lot line. Side yard guidelines as above will apply. No other fence style is approved for these lots.
- Phase II M/I Homes Block M Lots 1 and 22, Block O Lots 1 and 22 are considered lots that back up to a neighboring lot are only allowed seventy-two (72) inch privacy style approved PVC fence only along the rear lot line. Side yard guidelines as above will apply. No other fence style is approved for these lots.

Illustrations and specifications of approved fencing designs are attached.

ALMOND PVC APPROVED FENCE STYLES

48" SACRAMENTO II(or equivalent) only allowed when used as a pool fence and when no screen enclosure is used.

48", 60" or 72" LAKELAND SERIES or equivalent (STRAIGHT).



**48" Lakeland Series Fence Product Specification:
Suggested Specifications or closest equivalent**

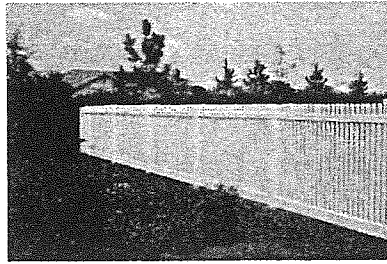
- 1" x 7" Tongue and Groove Picket
- 2" x 7" x 95" Slotted Notched End Bottom Rail
- 2" x 7" x 95" Slotted Top Rail
- 5" x 5" x 7' Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1" x 1.5" U-Channel
- Concrete Around Each Post
- Gates Constructed with Welded Internal Aluminum Frame

**60" or 72" Lakeland Series Fence Product Specifications:
Suggested Specifications or closest equivalent**

- 1" x 7" Tongue and Groove Picket
- 2" x 7" x 95" Slotted Notched End Bottom Rail
- 2" x 7" x 95" Slotted Top Rail
- 5" x 5" x 9' Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1" x 1.5" U-Channel
- Concrete Around Each Post
- Gates Constructed with Welded Internal Aluminum Frame

Approved Picket Fence Styles

Hampton Straight (or equivalent)



48" Hampton Series Fence Product Specifications: Suggested Specifications or closest equivalent

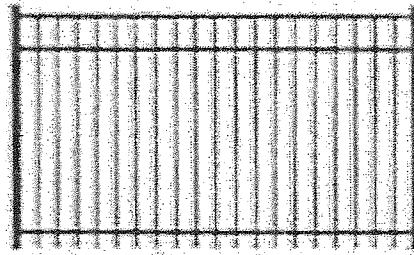
- 1-1/2" x 1-1/2" Picket
- 2" x 6" x 95" Routed/Notched End Bottom Rail
- 2" x 3.5" x 95" Routed Top Rail
- 1-3/4" x 1-3/4" Aluminum Tube Inserted In Bottom Rail For Extra Strength
- 5" x 5" x 7' Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1-1/2" x 1-1/2" Picket Cap
- 1.875" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Internal Welded Aluminum Frame

72" Hampton Series Fence Product Specifications: Suggested Specifications or closest equivalent

- 1-1/2" x 1-1/2" Picket
- 2" x 6" x 95" Routed/Notched End Bottom Rail
- 2" x 3.5" x 95" Routed Top Rail
- 1-3/4" x 1-3/4" Aluminum Tube Inserted In Bottom Rail For Extra Strength
- 5" x 5" x 9 Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1-1/2" x 1-1/2" Picket Cap
- Min. 1.875" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Internal Welded Aluminum Frame

Approved Aluminum Fence Styles

Ascot or equivalent

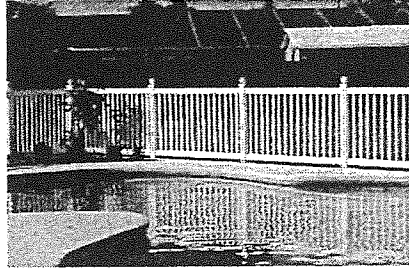


48" or 72" Ascot Fence Product Specifications: Suggested Specifications or closest equivalent

- 3/4" x 3/4" Picket
- 1" x 1" x 71-3/4" Routed Bottom Rail
- 1" x 1" x 71-3/4" Routed Middle Rail
- 1" x 1" x 71-3/4" Routed Top Rail
- 2" x 2" x 6' Routed Post
- 2" x 2" Post Cap
- 4" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Welded Aluminum Frame

All communities at Wilderness Lake Preserve Approved PVC Pool Fence Styles

Sacramento II or equivalent (example only)



48" Sacramento II Style
Aluminum or Wrought Iron Fence
Suggested Product Specifications or closest equivalent

- 3/4" Square Picket
- 3 7/8" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Welded Aluminum Frame

MORRISON HOMES

A few general guidelines will apply to all fences:

- All proposed fence installations must be submitted to and approved by the Architectural Review Committee (ARC) prior to installation. Fencing will be under scrutiny of ARC to comply with design compatibility and shall be in keeping with the architectural style and materials used in the neighborhood.
- Fence locations shall be submitted along with the Site Plans and fence specifications for review. The Site Plan will not be approved without the fence locations noted.
- No chain link or wood fences allowed.
- Only PVC fencing allowed in Phase I Heron's Wood, Phase II Oakhurst. See specifications below.
- PVC fencing shall be solid-wall 100% virgin PVC fence that is constructed from High Quality materials, stabilizers and modifiers throughout the entire extruded profile. No PVC co-extrusions or vinyl-clad wood products will be permitted. The only approved color is **ALMOND**. (Phase I, Phases II and III only PVC allowed)
- Landscaping, shrubs or hedging is required to screen any views of fence from the street at the front of the property, along the side in the case of corner homesites and all homesites backing up to any boulevard.
- Fence locations on corner lots may be further restricted due to side yard visibility constraints, side yard setback restrictions, and the location of homes on adjoining property. Corner lots will be handled on a case-by-case basis. You may request specific information on your corner lot setbacks prior to submittal of a plan.
- Side yard fences will not be permitted within ten (10) feet of the front of the house. The ten (10) feet shall be measured from the horizontal boundary of the structure.
- All lots that back up to a neighboring lot are only allowed seventy-two (72) inch privacy style approved PVC fence only. No other fence style is approved for these lots.
- All fencing adjoining lake, conservation areas (rear or side yard) or any boulevard must be picket style to a maximum forty-eight (48") in height. No other fencing will be approved.
- When forty-eight (48)" in height picket style fence is required along rear lot line the last 16' section on side yard fence must not exceed forty-eight (48)" in height. The preceding 8' section must stagger from 48" to 60" picket or privacy style and then remaining sections to a maximum height of 72" picket or privacy style.
See diagram (2-A, 2-B & 2-C).
- NO fencing in the front yard set back is permitted.
- Fences extended into utility easements at the owner's risk and maintained by the homeowner.
- Double fencing is prohibited.

Above guidelines must be followed in addition to the following special considerations:

- PHASE I BLOCK N Lots 1 through 6 (rear yards) is considered conservation homesites and must follow the afore-mentioned lake, conservation or any main boulevard guidelines.
- PHASE II Lots are all considered conservation homesites and must follow the afore-mentioned lake, conservation or any main boulevard guidelines with the exception of the following: Block Q Lots 28, 29 and 30 are considered lots that back up to a neighboring lot are only allowed seventy-two (72) inch privacy style approved PVC fence only along the rear lot line. Side yard guidelines as above will apply. No other fence style is approved for these lots.
- PHASE III ONLY PVC Fencing allowed in Phase III. Block A Lots 1 through 18 and Block B Lots 1 through 3, Block C Lots 1 through 15, Block E Lots 1 through 6 and Lots 10 through 22 are considered conservation homesites and must follow the afore-mentioned lake, conservation or any main boulevard guidelines. Block E Lot 7 is considered a corner lot and will be subject to an individual approval process. Block E Lots 8 and 9 are considered lots that back up to a neighboring lot are only allowed seventy-two (72) inch privacy style approved PVC fence only along the rear lot line. Side yard guidelines as above will apply. No other fence style is approved for these lots.

Illustrations and specifications of approved fencing designs, as provided by Danielle Fencing, are attached.

ALMOND PVC APPROVED FENCE STYLES

48" SACRAMENTO II or equivalent only allowed when used as a pool fence and when no screen enclosure is used.

48", 60" or 72" LAKELAND SERIES or equivalent (STRAIGHT).



**48" Lakeland Series Fence Product Specification:
Suggested Specifications or closest equivalent**

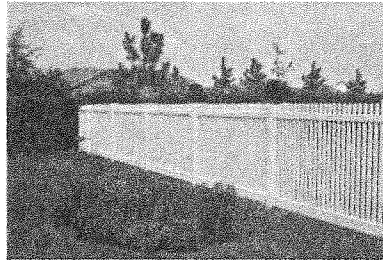
- 1" x 7" Tongue and Groove Picket
- 2" x 7" x 95" Slotted Notched End Bottom Rail
- 2" x 7" x 95" Slotted Top Rail
- 5" x 5" x 7' Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1" x 1.5" U-Channel
- Concrete Around Each Post
- Gates Constructed with Welded Internal Frame

**60" or 72" Lakeland Series Fence Product Specifications:
Suggested Specifications or closest equivalent**

- 1" x 7" Tongue and Groove Picket
- 2" x 7" x 95" Slotted Notched End Bottom Rail
- 2" x 7" x 95" Slotted Top Rail
- 5" x 5" x 9' Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1" x 1.5" U-Channel
- Concrete Around Each Post
- Gates Constructed with Welded Internal Frame

Approved Picket Fence Styles

Hampton Straight or equivalent



48" Hampton Series Fence Product Specifications: Suggested Specifications or closest equivalent

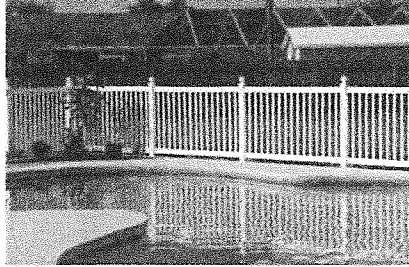
- 1-1/2" x 1-1/2" Picket
- 2" x 6" x 95" Routed/Notched End Bottom Rail
- 2" x 3.5" x 95" Routed Top Rail
- 1-3/4" x 1-3/4" Aluminum Tube Inserted In Bottom Rail For Extra Strength
- 5" x 5" x 7' Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1-1/2" x 1-1/2" Picket Cap
- Min. 1.875" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Internal Welded Frame

60" and 72" Hampton Series Fence Product Specifications: Suggested Specifications or closest equivalent

- 1-1/2" x 1-1/2" Picket
- 2" x 6" x 95" Routed/Notched End Bottom Rail
- 2" x 3.5" x 95" Routed Top Rail
- 1-3/4" x 1-3/4" Aluminum Tube Inserted In Bottom Rail For Extra Strength
- 5" x 5" x 9 Routed Post
- 5" x 5" Traditional, Gothic, New England, and Globe Post Cap
- 1-1/2" x 1-1/2" Picket Cap
- Min. 1.875" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Internal Welded Frame

All communities at Wilderness Lake Preserve Approved PVC Pool Fence Styles

Sacramento II or equivalent (example only)



**48" Sacramento II Style
Aluminum or Wrought Iron Fence
Suggested Product Specifications or closest equivalent**

- 3/4" Square Picket
- 3 7/8" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Welded Aluminum Frame

HANNAH BARTOLETTA, BAYFAIR & SMITH FAMILY HOMES

A few general guidelines will apply to all fences:

- All proposed fence installations must be submitted to and approved by the Architectural Review Committee (ARC) prior to installation. Fencing will be under scrutiny of ARC to comply with design compatibility and shall be in keeping with the architectural style and materials used in the neighborhood.
- Fence locations shall be submitted along with the Site Plans and fence specifications for review. The Site Plan will not be approved without the fence locations noted.
- No PVC, chain link or wood fencing will be allowed.
- Aluminum or wrought iron fences only shall be approved. Aluminum fences shall be constructed with heavy wall aluminum extrusions. Such fencing shall be finished in TGIC polyester powder coating. The only approved color is **Black**.
- 48" High fences will be approved only with 2 horizontal bars. 60" and 72" high fences must have a third horizontal rail. This third horizontal bar must be placed at 48" on a 60" fence and at 60" on a 72" fence. *
- Landscaping, shrubs or hedging is required to screen any views of fence from the street at the front of the property, along the side in the case of corner homesites and all homesites backing up to any boulevard.
- Fence locations on corner lots may be further restricted due to side yard visibility constraints, side yard setback restrictions, and the location of homes on adjoining property. Corner lots will be handled on a case-by-case basis. You may request specific information on your corner lot setbacks prior to submittal of a plan.
- Side yard fences will not be permitted within ten (10) feet of the front of the house. The ten (10) feet shall be measured from the horizontal boundary of the structure.
- All lots that back up to a neighboring lot are only allowed 72" approved fence only. No other fence style is approved for these lots.
- All fencing adjoining lake, conservation areas (rear or side yard) or the main boulevard will be maximum forty-eight (48") in height.
- When forty-eight (48)" in height fence is required along rear lot line the last 18' section on side yard fence must not exceed forty-eight (48)" in height. The preceding 18' section must stagger from 48" to 60" and then remaining sections to a maximum height of 72". See diagram (2-A, 2-B & 2-C). *
- NO fencing in the front yard set back is permitted
- Fences extended into utility easements at the owner's risk and maintained by the homeowner.
- Double fencing is prohibited.

Illustrations and specifications of approved fencing designs are attached.*

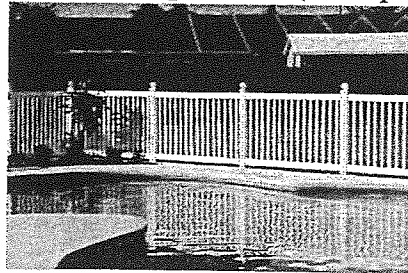
BLACK ALUMINUM or WROUGHT IRON APPROVED FENCE STYLES

*** NOTE:**

THESE CHANGES HAVE BEEN MADE TO COMPLY WITH STATE POOL CODE REQUIREMENTS EFFECTIVE AUGUST 2004 AND TO FOLLOW MANUFACTURER'S RECOMMENDED SAFETY AND INSTALLATION GUIDELINES.

Nature's Ridge, Water's Edge & Lakewood Retreat At Wilderness Lake Preserve Approved Pool Fence Styles

Sacramento II or equivalent (example only)



**48" Sacramento II Style
Aluminum or Wrought Iron Fence
Suggested Product Specifications or closest equivalent**

- 3/4" Square Picket
- 3 7/8" Picket Spacing
- Concrete Around Each Post
- Gates Constructed with Welded Aluminum Frame